

INSPECTION REPORT



For the Property at:
1234 NICE STREET
YOUR TOWN, IL

Prepared for: JON DOE
Inspection Date: Friday, December 8, 2006
Prepared by: Thomas Jansson 450.0003340



Acuity Home Inspection Service
1340 W Farwell Ave
Chicago, IL 60626
312-217-5249
www.insightinspec.com
tj@insightinspec.com

Inspected with Acuity



December 17, 2006

Dear Jon Doe,

RE: Report No. 1001, v.2
1234 Nice Street
Your Town, IL
12345-6789

Thank you for choosing Acuity for your home inspection. I hope that you are pleased with the quality of my work, and that you found the home inspection to be an enjoyable and informative part of the home-buying process.

The report is divided into several sections, which relate to the different systems of the house. There is also a Summary section which lists the items that were most significant, in my opinion. It is very important that you read the entire report.

The summary section of the report contains items which will most likely cost over \$1,000 to repair, as well as items which I consider to be immediate health or safety concerns. However, it is still necessary to read the entire report. Where repairs are necessary, I recommend calling at least three licensed, qualified contractors for repair estimates. It should be noted that contractors will often uncover additional issues that were not discussed at the home inspection. This is typical. Keep in mind that the home inspection is a limited visual inspection, performed by a generalist. A specialist (such as an HVAC tech) will have more detailed knowledge in his or her particular field, and is authorized to perform certain tasks which fall well outside the scope of a normal home inspection. Disassembling the furnace to examine the entire heat exchanger would be an example of such a task.

The document you are now looking at is an interactive report. Many of the items have blue hyperlinks which connect you to a Home Inspection database. To learn more about a particular item in the report, click on the blue hyperlink.

Please feel free to contact me if you have any questions about the house or the report. I am here to help. I look forward to hearing from you, and I hope that in the future I will have the opportunity to serve you again.

Sincerely,

Thomas Jansson 450.0003340
on behalf of
Acuity Home Inspection Service

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INVOICE

December 17, 2006

Client: Jon Doe

Report No. 1001, v.2
For inspection performed at:
1234 Nice Street
Your Town, IL
12345-6789
on: Friday, December 8, 2006

SFH Pre-purchase Inspection

\$395.00

Total

\$395.00

Paid In Full

Acuity Home Inspection Service
1340 W Farwell Ave
Chicago, IL 60626
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tj@insightinspec.com

INSPECTION AGREEMENT

1234 Nice Street, Your Town, IL December 8, 2006

Report No. 1001, v.2

www.insightinspec.com

PARTIES TO THE AGREEMENT

Company

Acuity Home Inspection Service
1340 W Farwell Ave
Chicago, IL 60626

Client

Jon Doe

This is an agreement between Jon Doe and Acuity Home Inspection Service.

Thomas Jansson (Hereinafter INSPECTOR) and the undersigned (hereinafter CLIENT), collectively referred to herein as the parties. The Parties Understand and Voluntarily Agree as follows:

1. INSPECTOR agrees to perform a visual inspection of the home/building and to provide CLIENT with a written inspection report identifying the defects that INSPECTOR both observed and deemed material. INSPECTOR may offer comments as a courtesy, but these comments will not comprise the bargained-for report. The report is only supplementary to the sellers disclosure.
2. Unless otherwise inconsistent with this Agreement or not possible, INSPECTOR agrees to perform the inspection in accordance to the current Standards of Practice of the National Association of Certified Home Inspectors posted at <http://www.nachi.org/sop.htm>. CLIENT understands that these standards contain certain limitations, exceptions, and exclusions.
3. The inspection and report are performed and prepared for the use of CLIENT, who gives INSPECTOR permission to discuss observations with real estate agents, owners, repairpersons, and other interested parties. INSPECTOR accepts no responsibility for use or misinterpretation by third parties. INSPECTORS inspection of the property and the accompanying report are in no way intended to be a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. Any and all warranties, express or implied, including warranties of merchantability and fitness for a particular purpose, are expressly excluded by this Agreement.
4. INSPECTOR assumes no liability for the cost of repair or replacement of unreported defects or deficiencies either current or arising in the future. CLIENT acknowledges that the liability of INSPECTOR, its agents, employees, for claims or damages, costs of defense or suit, attorneys fees and expenses and payments arising out of or related to the INSPECTORS negligence or breach of any obligation under this Agreement, including errors and omissions in the inspection or the report, shall be limited to liquidated damages in an amount equal to the fee paid to the INSPECTOR, and this liability shall be exclusive. CLIENT waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building even if the CLIENT has been advised of the possibility of such damages. The parties acknowledge that the liquidated damages are not intended as a penalty but are intended (i) to reflect the fact that actual damages may be difficult and impractical to ascertain; (ii) to allocate risk among the INSPECTOR and CLIENT; and (iii) to enable the INSPECTOR to perform the inspection at the stated fee.
5. INSPECTOR does not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the inspector holds a valid occupational license, in which case he/she may inform the CLIENT that he/she is so licensed, and is therefore qualified to go beyond this basic home inspection, and for additional fee, perform additional inspections beyond those within the scope of the basic home inspection. Any agreement for such additional inspections shall be in a separate writing or noted here:

6. In the event of a claim against INSPECTOR, CLIENT agrees to supply INSPECTOR with the following: (1) Written

INSPECTION AGREEMENT

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notification of adverse conditions within 14 days of discovery, and (2) Access to the premises. Failure to comply with the above conditions will release INSPECTOR and its agents from any and all obligations or liability of any kind.

7. The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the INSPECTOR has its principal place of business. In the event that CLIENT fails to prove any adverse claims against INSPECTOR in a court of law, CLIENT agrees to pay all legal costs, expenses and fees of INSPECTOR in defending said claims.

8. If any court declares any provision of this Agreement invalid or unenforceable, the remaining provisions will remain in effect. This Agreement represents the entire agreement between the parties. All prior communications are merged into this Agreement, and there are no terms or conditions other than those set forth herein. No statement or promise of INSPECTOR or its agents shall be binding unless reduced to writing and signed by INSPECTOR. No change or modification shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. CLIENT shall have no cause of action against INSPECTOR after one year from the date of the inspection.

9. Payment of the fee to INSPECTOR (less any deposit noted above) is due upon completion of the on-site inspection. The CLIENT agrees to pay all legal and time expenses incurred in collecting due payments, including attorneys fees, if any. If CLIENT is a corporation, LLC, or similar entity, the person signing this Agreement on behalf of such entity does personally guaranty payment of the fee by the entity.

10. **ARBITRATION CLAUSE.** The Client agrees to submit any disputes which may arise in connection with the Inspection of the subject property, to mediation/arbitration under the Rules of the National Association of Certified Home Inspectors Alternate Dispute Resolution Service (ADRS www.nachiadrs.com). The Client and Inspector acknowledge that they are bound by the Terms and Conditions of the Inspection Agreement, and that the outcome of any mediation and/or arbitration may be based upon those very Terms and Conditions, and with substantial compliance with the Standards of Practice of NACHI. The Client further agrees that they are responsible for all costs associated with the request for mediation/arbitration. The Client understands that, under the Terms of this Agreement, mediation and arbitration proceedings shall be governed and followed as prescribed under the Rules for Mediation, and the Rules for Arbitration, as set forth by ADRS. Proceedings shall first attempt to reach a voluntary settlement under the Rules for Mediation. Should mediation fail to produce a voluntary settlement, and based upon information conveyed during the proceedings, ADRS shall then render a final decision as to the outcome of the action sought under its Rules regarding Arbitration. Both Parties agree to hold the Mediator/Arbitrator, NACHI, and ADRS, harmless from the results of any sought action, or resolution reached through the process. _____ (Clients Initials)

CLIENT HAS CAREFULLY READ THE FOREGOING, AGREES TO IT, AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS AGREEMENT.

I, **Jon Doe (Signature)** _____, **(Date)** _____, have read, understood and accepted the terms of this agreement.

SUMMARY

1234 Nice Street, Your Town, IL December 8, 2006

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www.insightinspec.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

PLUMBING

INTERIOR

Note: For the purpose of this report the building is considered to be facing **West**.

Potentially significant items (costs greater than \$1,000, or immediate safety issues) over the short term are identified below. This summary must not be considered as the complete report. The entire report includes all of the text and reference material.

Roofing

Sloped roofing \ Asphalt shingles

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Note: Asphalt roof is showing signs of extensive wear. Roof replacement required. Recommend inspection/estimate by a licensed roofing contractor prior to close of escrow.

Additional Conditions:

Near end of life expectancy

Cracked

Granule loss

Damage

Missing, loose or torn

Slots wide

Vulnerable areas



Curling shingles



granule loss, surface deterioration

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water stains on duckboards

Exterior

Roof drainage \ Downspouts

Condition: • [Downspouts end too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Improve

Time: Immediate

Note: Downspouts discharge too close to building. May lead to problems with water in the basement. Open extensions (pictured) can overflow and are not an optimal solution. Recommend extending the downspouts to discharge six feet away from the foundation wall. Contact a licensed gutter or drainage contractor.

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ROOFING

EXTERIOR

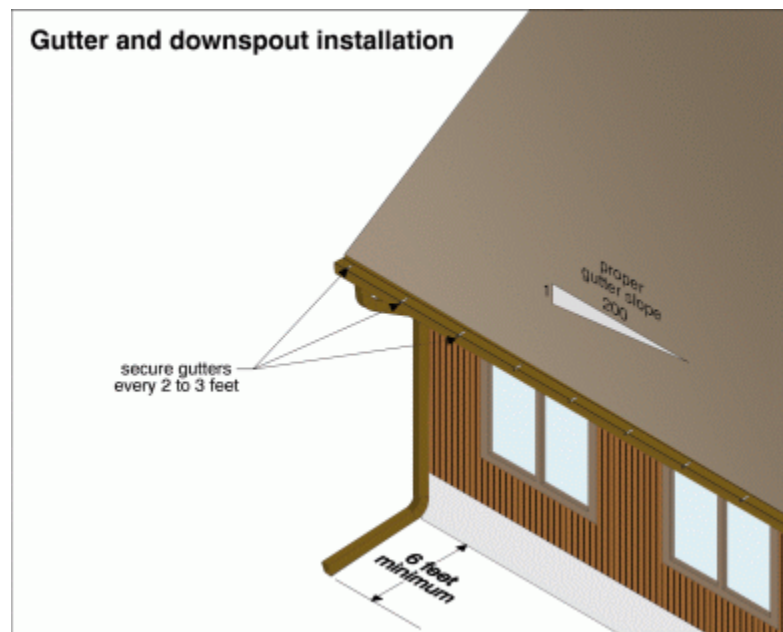
STRUCTURE

ELECTRICAL

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PLUMBING

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[Click on image to enlarge.](#)



Downspout too close to house

Walls \ Brick, stone and concrete

Condition: • [Cracked](#)

Implication(s): Chance of water entering house | Weakened structure | Chance of movement

Location: Throughout

Task: Repair

Time: Immediate

Note: Tuckpointing needed throughout. Also noted masonry cracks at upper window edges. This is a sign that the lintels are rusting. Lintel pockets should be repaired by qualified masonry contractors. All lintels should be scraped and rustproofed by qualified contractors as a matter of routine maintenance.

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Masonry crack at window edge



Previously repaired areas



Spalling, masonry deterioration



Tuckpointing urgently needed



mortar damage from rusting lintel

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Windows and skylights \ General

Condition: • [Lintel rusting](#)

Location: Throughout

Task: Repair

Time: Immediate

Windows and skylights \ Frames

Condition: • [Paint or stain needed](#)

Implication(s): Material deterioration

Location: Throughout

Task: Repair

Time: Immediate

Note: Rot beginning to develop at some of the basement windows. Replacement is not necessary at this point, but all windows should be monitored as part of the homeowner's ongoing maintenance program. SCRAPING AND PAINTING is needed immediately to prevent further deterioration of the windows.



Scraping, painting, caulk needed throughout

Porches, decks, patios and balconies \ Joists

Condition: • [Fastener problems](#)

Implication(s): Weakened structure | Chance of movement

Location: Throughout

Task: Repair

Time: Immediate

Note: Joist hangers missing on sections of the back porch. HEALTH/SAFETY ISSUE. Have missing fasteners installed by a licensed porch specialist prior to closing.

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Joist Hangers Missing. Inadequate support.

Structure

Floors \ Joists

Condition: • [Notches or holes](#)

Implication(s): Weakened structure

Location: Various

Task: Repair

Time: Immediate

Note: Cut and notched joists found. Structural repairs are required. Contact a licensed, qualified carpenter for an estimate prior to closing.

Additional Conditions:

Missing Joists

Poor end bearing, joist hanger connections

Prior repairs

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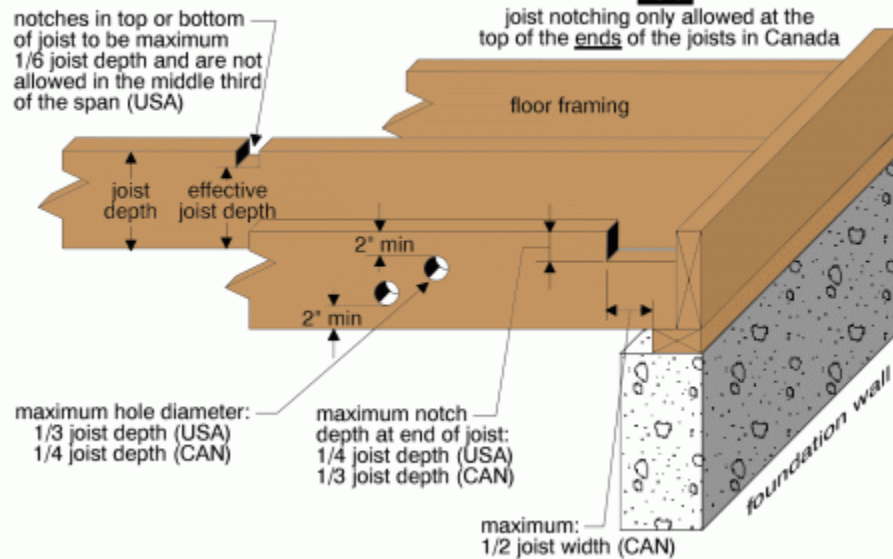
ELECTRICAL

HEATING

PLUMBING

INTERIOR

Joist notching and drilling



[Click on image to enlarge.](#)



Cut joist



Joist notched too deep

Electrical

Service box, grounding and panel \ Distribution panel

Condition: • [Double taps](#)

Implication(s): Fire hazard

Location: Throughout

Task: Repair

Time: Immediate

Note: Contact electrician to install additional circuit breakers to eliminate double taps. There is plenty of room in this panel to properly accommodate the current wiring requirements of the house.

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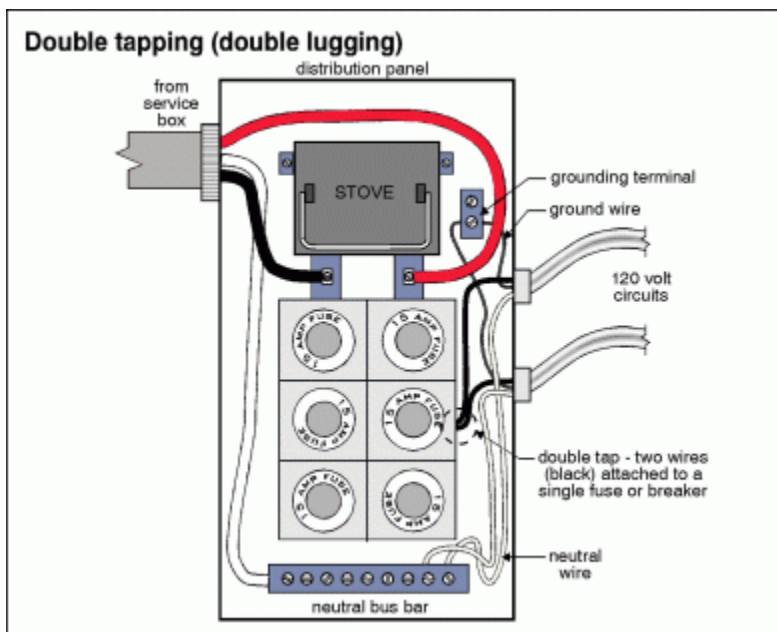
STRUCTURE

ELECTRICAL

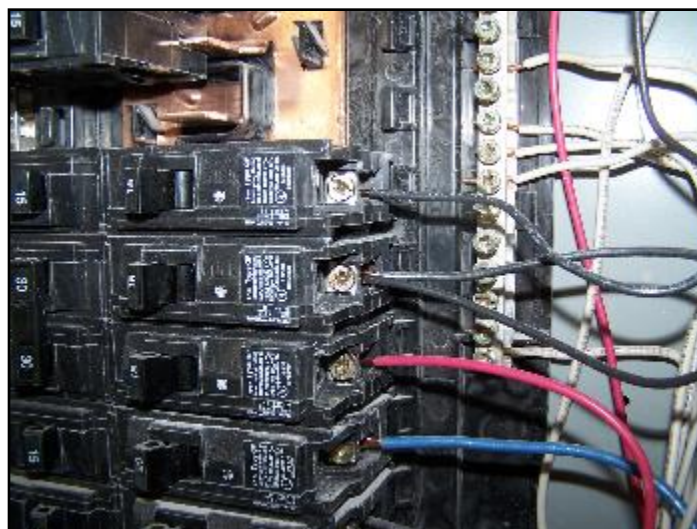
HEATING

PLUMBING

INTERIOR



[Click on image to enlarge.](#)



Double Taps

Distribution system \ Junction boxes

Condition: • [Cover loose or missing](#)

Implication(s): Electric shock | Fire hazard

Location: Throughout

Task: Repair

Note: All open junction boxes should be covered by a licensed electrician.

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Open junction box



Open junction box



Missing switchplate cover

Distribution system \ Outlets

Condition: • [Damage](#)

Implication(s): Electric shock | Fire hazard

Location: Throughout

Task: Repair

Time: Immediate

Note: Outlet issues noted throughout. ALL outlets should be examined and repaired or replaced by a licensed electrician prior to closing.

Additional Conditions:

Inoperative

Reversed polarity

Ungrounded

No GFI

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Exterior outlet not watertight, needs GFI



Damaged GFI



Bad ground



Cracked cover, paint clogged - replace

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Paint damaged - replace

Heating

Chimney and vent \ Masonry chimney cap

Condition: • [Missing](#)

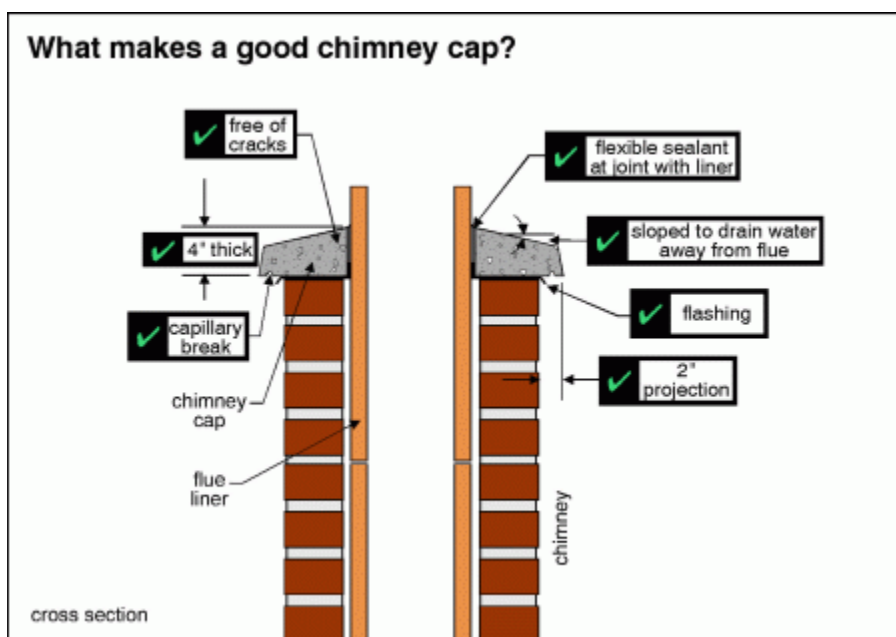
Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Task: Replace

Time: Immediate

Note: Contact licensed masonry contractor for chimney cap replacement.

A chimney cap is necessary to prevent damage to the chimney from moisture intrusion and the freeze/thaw cycle.



[Click on image to enlarge.](#)

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Missing chimney cap; previous repairs

Plumbing

Waste plumbing \ Drain piping - performance

Condition: • [Leak](#)

Location: Basement

Task: Repair

Time: Immediate

Note: Leaking waste stack found behind washing machine. Cannot determine location of the leak as the stack is enclosed by the walls. It will most likely be necessary to open up the walls in this section of the house in order to identify and repair the leak. This is a problem which requires immediate attention from a licensed plumber.



Leaking waste stack

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Fixtures and faucets \ Toilet

Condition: • [Broken or cracked tank lids, bowls or seats](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Physical injury

Task: Replace

Time: Immediate

Note: Toilet is cracked and should be replaced by licensed plumber prior to closing.



Cracked toilet bowl

Interior

Appliances \ Dryer

Condition: • Not vented to exterior

Implication(s): Chance of condensation damage to finishes and/or structure

Task: Repair

Time: Immediate

Note: Potential FIRE HAZARD.

Dryer should be vented to exterior with metal ducting. Plastic (or vinyl) ducting is flammable and should be replaced. Lint buildup is a significant FIRE HAZARD. Have Dryer Cleaned and Serviced by licensed appliance specialist prior to occupancy. Have Dryer vented to the outside using metal ductwork.

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Lint pile behind dryer. Fire Hazard.



Lint trap, vinyl hose are fire hazards.

This is the end of the summary section. The remainder of the report deals with individual systems in more detail. Please read each section carefully.

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DESCRIPTION

Sloped: • [Asphalt](#)

Probability of leakage:

• Medium

Note: Noted worn areas, granule loss, evidence of previous moisture intrusion.

LIMITATIONS

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • With binoculars • From roof edge

RECOMMENDATIONS

Sloped roofing \ Asphalt shingles

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Note: Asphalt roof is showing signs of extensive wear. Roof replacement required. Recommend inspection/estimate by a licensed roofing contractor prior to close of escrow.

Additional Conditions:

Near end of life expectancy

Cracked

Granule loss

Damage

Missing, loose or torn

Slots wide

Vulnerable areas



Curling shingles



granule loss, surface deterioration

ROOFING

1234 Nice Street, Your Town, IL December 8, 2006

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water stains on duckboards

EXTERIOR

1234 Nice Street, Your Town, IL December 8, 2006

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DESCRIPTION

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Flat](#)

Wall surfaces - masonry: • [Brick](#)

LIMITATIONS

Inspection limited/prevented by: • New finishes/paint/trim • Vines/shrubs/trees against wall

Upper floors inspected from: • Ground level

RECOMMENDATIONS

Roof drainage \ Downspouts

Condition: • [Downspouts end too close to building](#)

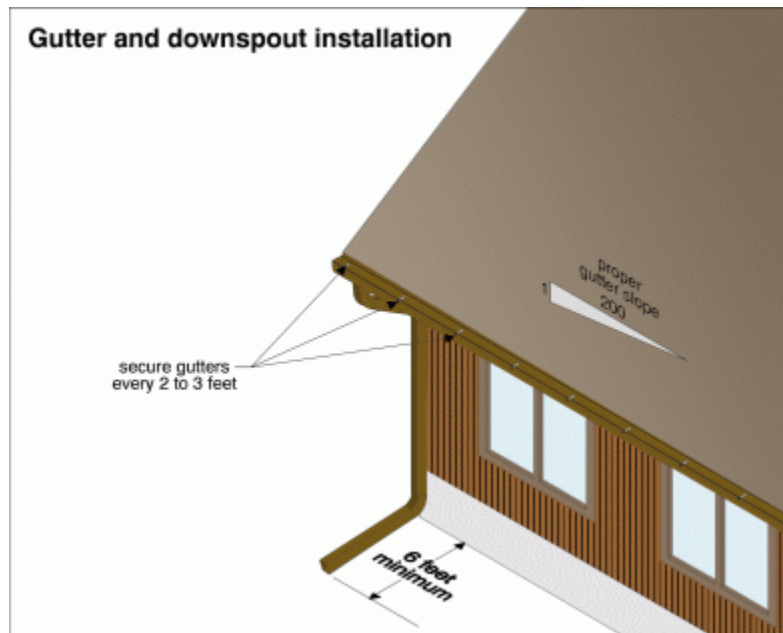
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Improve

Time: Immediate

Note: Downspouts discharge too close to building. May lead to problems with water in the basement. Open extensions (pictured) can overflow and are not an optimal solution. Recommend extending the downspouts to discharge six feet away from the foundation wall. Contact a licensed gutter or drainage contractor.



[Click on image to enlarge.](#)

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Downspout too close to house

Walls \ Brick, stone and concrete

Condition: • [Cracked](#)

Implication(s): Chance of water entering house | Weakened structure | Chance of movement

Location: Throughout

Task: Repair

Time: Immediate

Note: Tuckpointing needed throughout. Also noted masonry cracks at upper window edges. This is a sign that the lintels are rusting. Lintel pockets should be repaired by qualified masonry contractors. All lintels should be scraped and rustproofed by qualified contractors as a matter of routine maintenance.



Masonry crack at window edge



Previously repaired areas

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Spalling, masonry deterioration



Tuckpointing urgently needed



mortar damage from rusting lintel

Windows and skylights \ General

Condition: • [Lintel rusting](#)

Location: Throughout

Task: Repair

Time: Immediate

Windows and skylights \ Frames

Condition: • [Paint or stain needed](#)

Implication(s): Material deterioration

Location: Throughout

Task: Repair

Time: Immediate

Note: Rot beginning to develop at some of the basement windows. Replacement is not necessary at this point, but all windows should be monitored as part of the homeowner's ongoing maintenance program. SCRAPING AND PAINTING is needed immediately to prevent further deterioration of the windows.

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Scraping, painting, caulk needed throughout

Windows and skylights \ Exterior trim

Condition: • [Caulking loose, missing or deteriorated](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Increased heating and cooling costs

Windows and skylights \ Exterior trim

Condition: • [Paint or stain needed](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Porches, decks, patios and balconies \ Joists

Condition: • [Fastener problems](#)

Implication(s): Weakened structure | Chance of movement

Location: Throughout

Task: Repair

Time: Immediate

Note: Joist hangers missing on sections of the back porch. HEALTH/SAFETY ISSUE. Have missing fasteners installed by a licensed porch specialist prior to closing.

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Joist Hangers Missing. Inadequate support.

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DESCRIPTION

Configuration: • [Basement](#)

Foundation material: • [Brick](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • [Rafters/roof joists](#)

LIMITATIONS

Inspection limited/prevented by: • Carpet/furnishings • Storage • New finishes/paint • Insulation

Percent of foundation not visible: • 80 %

RECOMMENDATIONS

Floors \ Joists

Condition: • [Notches or holes](#)

Implication(s): Weakened structure

Location: Various

Task: Repair

Time: Immediate

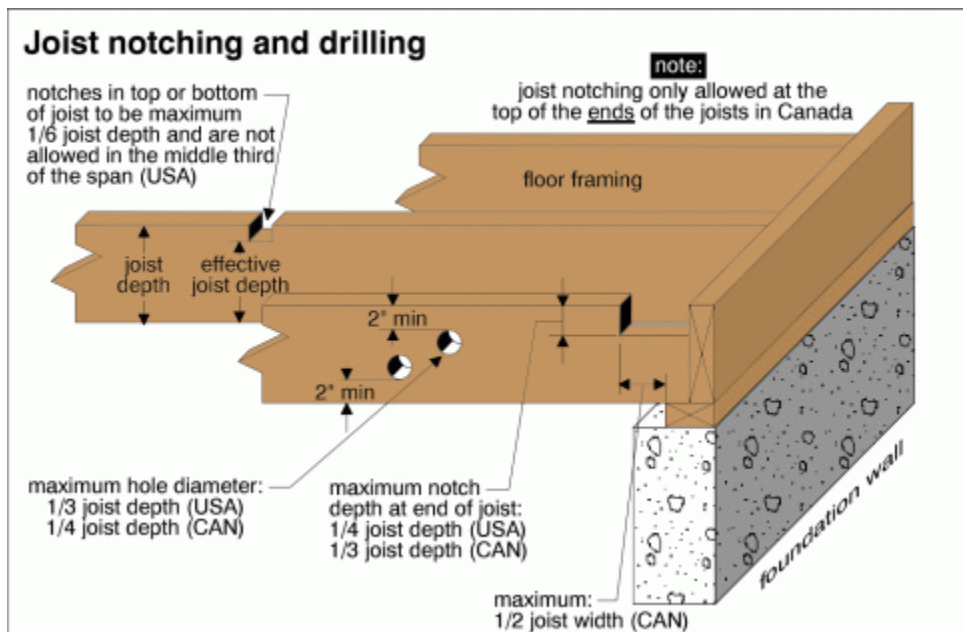
Note: Cut and notched joists found. Structural repairs are required. Contact a licensed, qualified carpenter for an estimate prior to closing.

Additional Conditions:

Missing Joists

Poor end bearing, joist hanger connections

Prior repairs



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Cut joist



Joist notched too deep

DESCRIPTION

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel rating: • [100 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution wire material and type: • [Copper - conduit](#)

Type and number of outlets: • [Grounded - typical](#)

Smoke detectors: • Disabled

Note: All smoke detectors must have new batteries installed and must be tested prior to occupancy.



Smoke detectors disabled

LIMITATIONS

Inspection limited/prevented by: • Storage

Fuse block: • Not pulled

System ground: • Quality of ground not determined

RECOMMENDATIONS

Service box, grounding and panel \ Distribution panel

Condition: • [Double taps](#)

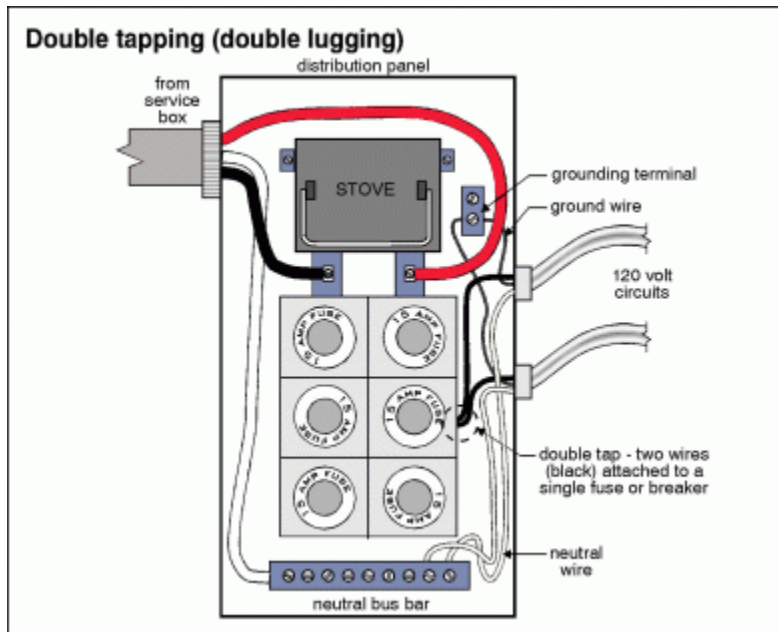
Implication(s): Fire hazard

Location: Throughout

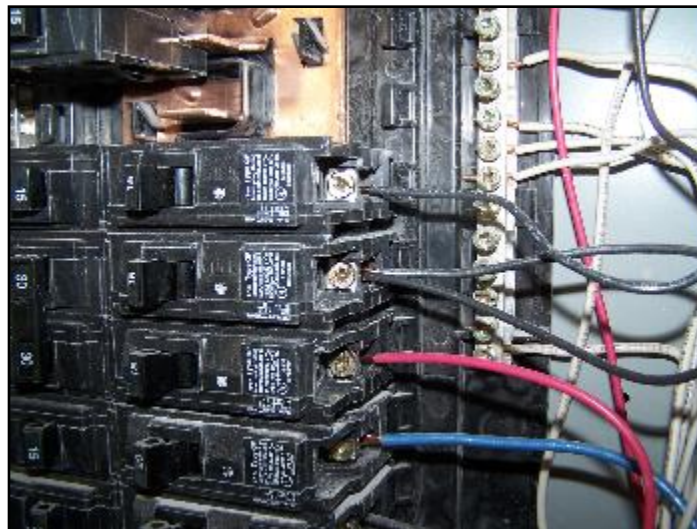
Task: Repair

Time: Immediate

Note: Contact electrician to install additional circuit breakers to eliminate double taps. There is plenty of room in this panel to properly accommodate the current wiring requirements of the house.



[Click on image to enlarge.](#)



Double Taps

ELECTRICAL

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

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PLUMBING

INTERIOR

Distribution system \ Junction boxes

Condition: • [Cover loose or missing](#)

Implication(s): Electric shock | Fire hazard

Location: Throughout

Task: Repair

Note: All open junction boxes should be covered by a licensed electrician.



Open junction box



Open junction box



Missing switchplate cover

Distribution system \ Outlets

Condition: • [Damage](#)

Implication(s): Electric shock | Fire hazard

Location: Throughout

Task: Repair

Time: Immediate

Note: Outlet issues noted throughout. ALL outlets should be examined and repaired or replaced by a licensed electrician prior to closing.

Additional Conditions:

ELECTRICAL

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SUMMARY

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Inoperative
Reversed polarity
Ungrounded
No GFI



Exterior outlet not watertight, needs GFI



Damaged GFI



Bad ground



Cracked cover, paint clogged - replace

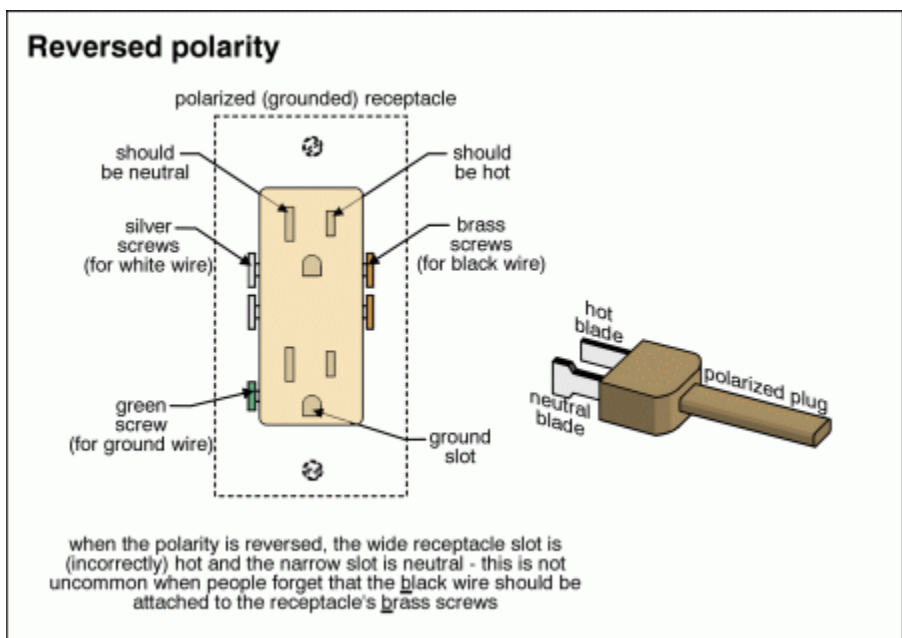


Paint damaged - replace

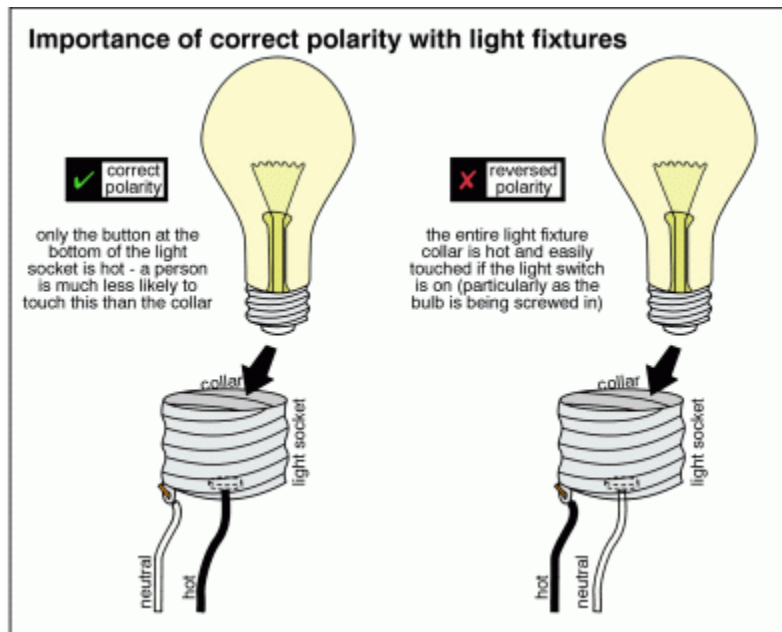
Distribution system \ Outlets

Condition: • [Reversed polarity](#)

Implication(s): Electric shock



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

Distribution system \ Outlets

Condition: • [Ungrounded](#)

Implication(s): Electric shock

HEATING

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SUMMARY

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DESCRIPTION

Fuel: • [Gas](#)

System type: • [Furnace](#)

Approximate age: • [10 years](#)

Failure probability: • [Medium](#)

Main fuel shut off at: • Utility room

Chimney: • [Masonry](#)

LIMITATIONS

Safety devices: • Not tested as part of a home inspection

Heat loss calculations: • Not done as part of a home inspection

Heat exchanger: • Only a small portion visible

RECOMMENDATIONS

Gas furnace \ Mechanical air filter

Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

Task: Replace

Note: Replace filter monthly to protect heating system and improve indoor air quality.



Replace dirty furnace filters

Chimney and vent \ Masonry chimney

Condition: • [Spalling](#)

Chimney and vent \ Masonry chimney cap

Condition: • [Missing](#)

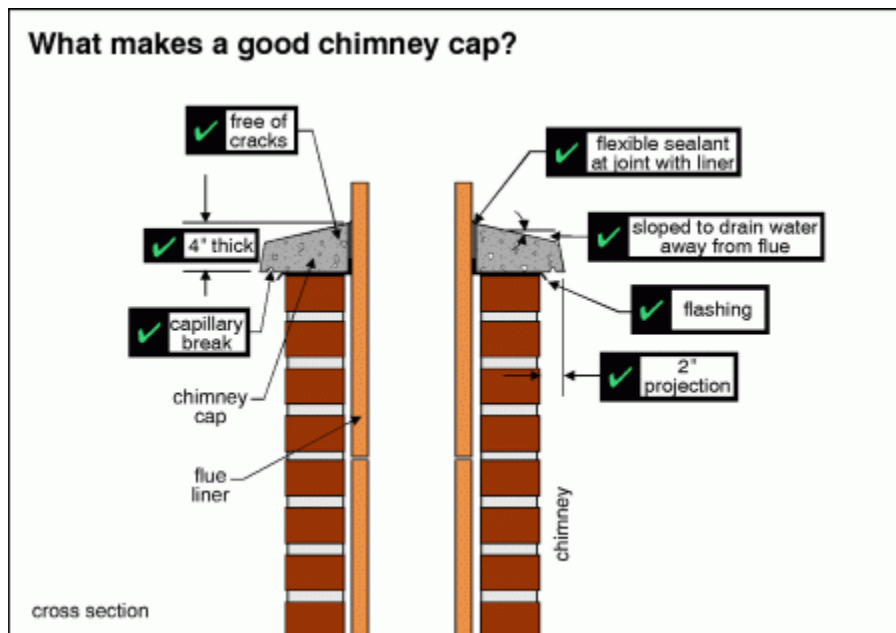
Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Task: Replace

Time: Immediate

Note: Contact licensed masonry contractor for chimney cap replacement.

A chimney cap is necessary to prevent damage to the chimney from moisture intrusion and the freeze/thaw cycle.



[Click on image to enlarge.](#)



Missing chimney cap; previous repairs

SUMMARY

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DESCRIPTION

Water supply source: • Public

Service piping into house: • [Copper](#)

Supply piping in house: • [Copper](#)

Main shut off valve at the: • Basement

Water flow (pressure): • [Functional](#)

Water heater fuel: • [Gas](#)

Water heater type: • [Conventional](#)

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 1 year

Water heater failure probability: • [Low](#)

Waste disposal system: • [Public](#)

Waste piping in house: • [Plastic](#)

LIMITATIONS

Items excluded from a home inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment

RECOMMENDATIONS

Waste plumbing \ Drain piping - performance

Condition: • [Leak](#)

Location: Basement

Task: Repair

Time: Immediate

Note: Leaking waste stack found behind washing machine. Cannot determine location of the leak as the stack is enclosed by the walls. It will most likely be necessary to open up the walls in this section of the house in order to identify and repair the leak. This is a problem which requires immediate attention from a licensed plumber.



Leaking waste stack

Fixtures and faucets \ Toilet

Condition: • [Broken or cracked tank lids, bowls or seats](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Physical injury

Task: Replace

Time: Immediate

Note: Toilet is cracked and should be replaced by licensed plumber prior to closing.



Cracked toilet bowl

INTERIOR

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DESCRIPTION

Major floor finishes: • [Carpet](#) • [Hardwood](#) • [Ceramic](#) • [Concrete](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#) • [Casement](#)

Glazing: • [Single](#) • [Double](#)

Exterior doors: • [Solid wood](#)

Oven type: • Conventional

Oven fuel: • Gas

Range fuel: • Gas

Appliances: • Refrigerator • Range hood • Dishwasher • Waste disposal • Door bell

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • 120-Volt outlet • Gas piping

LIMITATIONS

Inspection limited/prevented by: • Carpet • Storage/furnishings • New finishes/paint • Storage in closets/cupboards

Not included as part of a home inspection: • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues • Appliances

RECOMMENDATIONS

Windows \ Hardware

Condition: • [Inoperable](#)

Implication(s): System inoperative or difficult to operate

Location: Back Porch

Task: Repair

Time: Discretionary

Note: Replace damaged casement window hardware on back porch. A skilled homeowner may be capable of performing this repair, or a licensed handyman service can be used.



Broken window hardware

Appliances \ Dishwasher

Condition: • Loose

Implication(s): Reduced operability

Task: Repair

Time: Immediate

Note: Dishwasher should be secured to cabinets or countertop by qualified technician prior to occupancy.



Loose dishwasher

Appliances \ Dryer

Condition: • Not vented to exterior

Implication(s): Chance of condensation damage to finishes and/or structure

Task: Repair

Time: Immediate

Note: Potential FIRE HAZARD.

Dryer should be vented to exterior with metal ducting. Plastic (or vinyl) ducting is flammable and should be replaced. Lint buildup is a significant FIRE HAZARD. Have Dryer Cleaned and Serviced by licensed appliance specialist prior to occupancy. Have Dryer vented to the outside using metal ductwork.

INTERIOR

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Lint pile behind dryer. Fire Hazard.



Lint trap, vinyl hose are fire hazards.

END OF REPORT